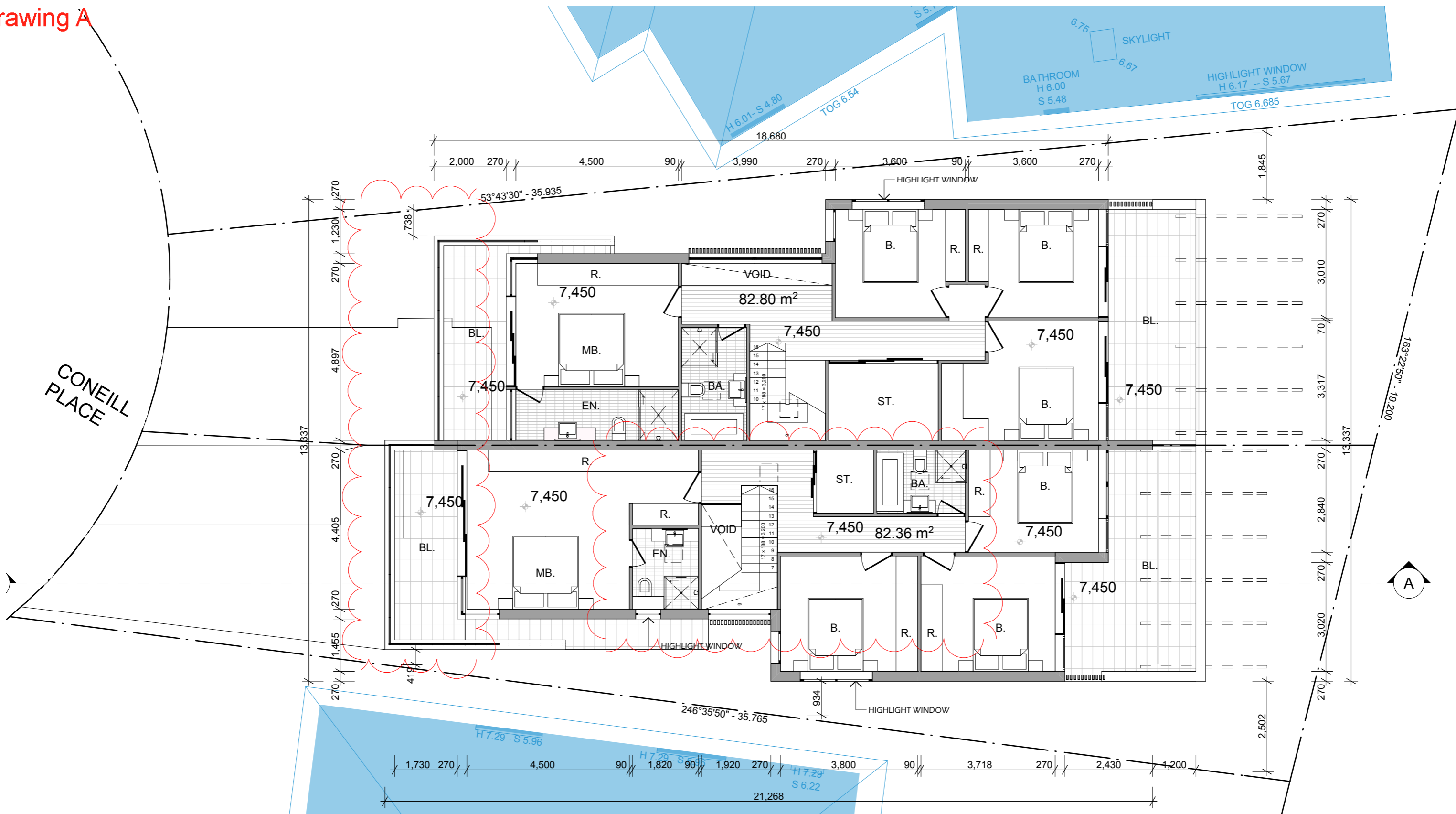


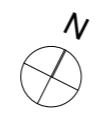
Attachment C

Approved and Proposed Floor Plans



1 FIRST FLOOR
Scale 1:100

LEGEND		DOUBLE GARAGE	DG	ROBE	R	LIFT	LF
BALCONY	BL	ENSUITE	EN	RUMPUS	RU	LIGHT WELL	LW
BARBECUE AREA	BBQ	ENTRY	E	SERVICES	SE	LIVING	L
BATHROOM	BA	FIRE STAIR	FS	STORE	S	LOBBY	LB
BEDROOM	B	GARAGE	G	STUDY	ST	MASTER BEDROOM	MB
BIKE RACK	BR	GARBAGE ROOM	GR	TERRACE	T	NOOK	N
COURTYARD	C	KITCHEN	K	VOID	V	PANTRY	PA
DECK	DK	LAUNDRY	LD	WALK IN PANTRY	WIP	POWDER	P
DINING	D					WALK IN ROBE	WIR



amendments

[date]	[issue]	[description]
10/07/2015	A	DAAPPLICATION

THE WORKS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIA STANDARDS AND RELEVANT BY LAWS. ALL PROPRIETARY ITEMS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER DETAILS AND SPECIFICATIONS. STATUTORY AUTHORITY APPROVALS AND SPECIFICATIONS THAT FORM PART OF THE CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK REFERENCES OF DIMENSIONED MEASUREMENT TO BE TAKEN OVER SCALED MEASUREMENTS. THESE DRAWINGS HAVE BEEN PREPARED BY ARKIVIS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF ARKIVIS AND ARE SUBJECT TO COPYRIGHT LAW. A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATERBOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.

Drawing B

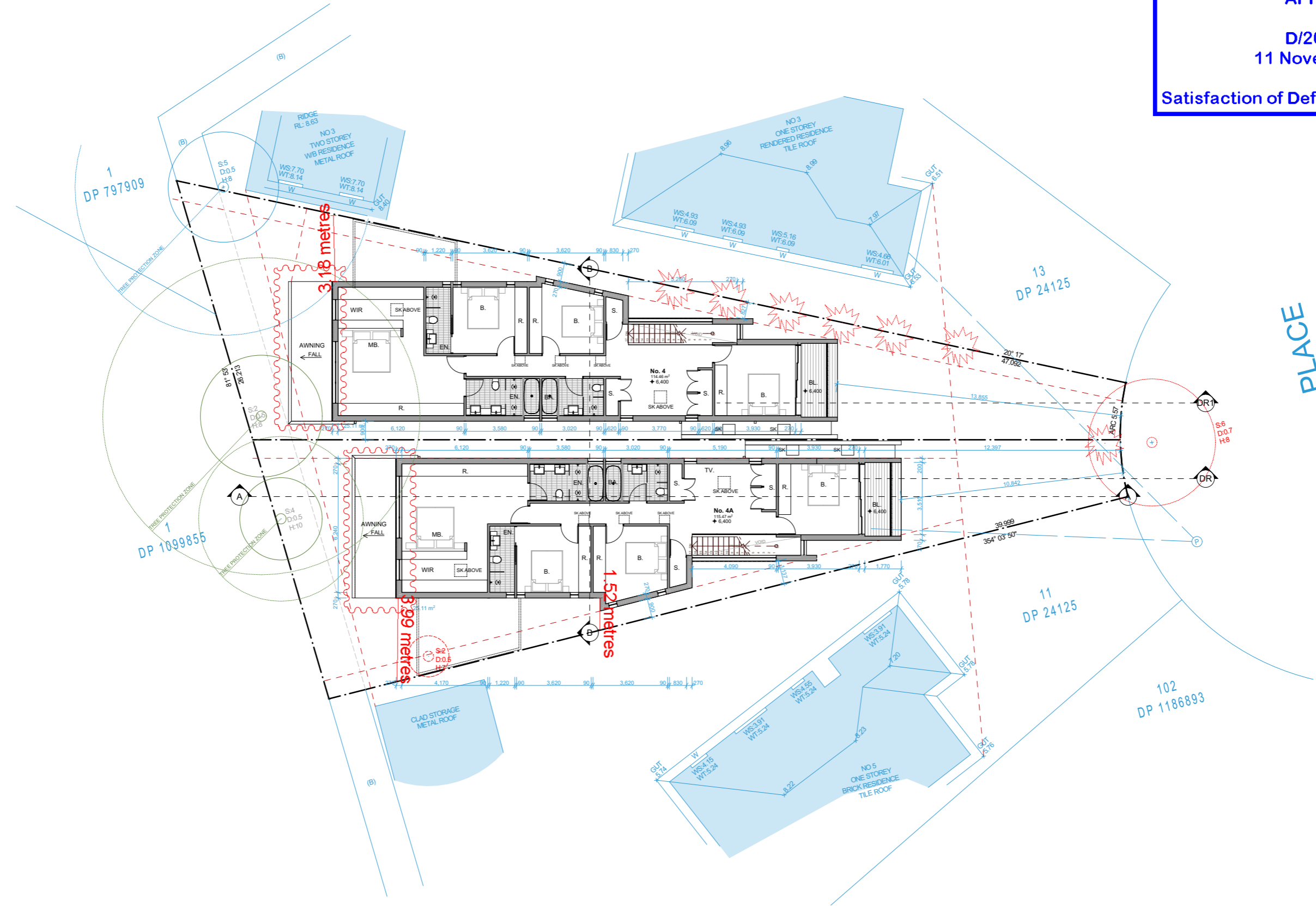


**CITY OF SYDNEY
CITY PLANNING DIVISION**

APPROVAL

**D/2019/554
11 November 2021**

Satisfaction of Deferred Commencement



FIRST FLOOR
Scale 1:200

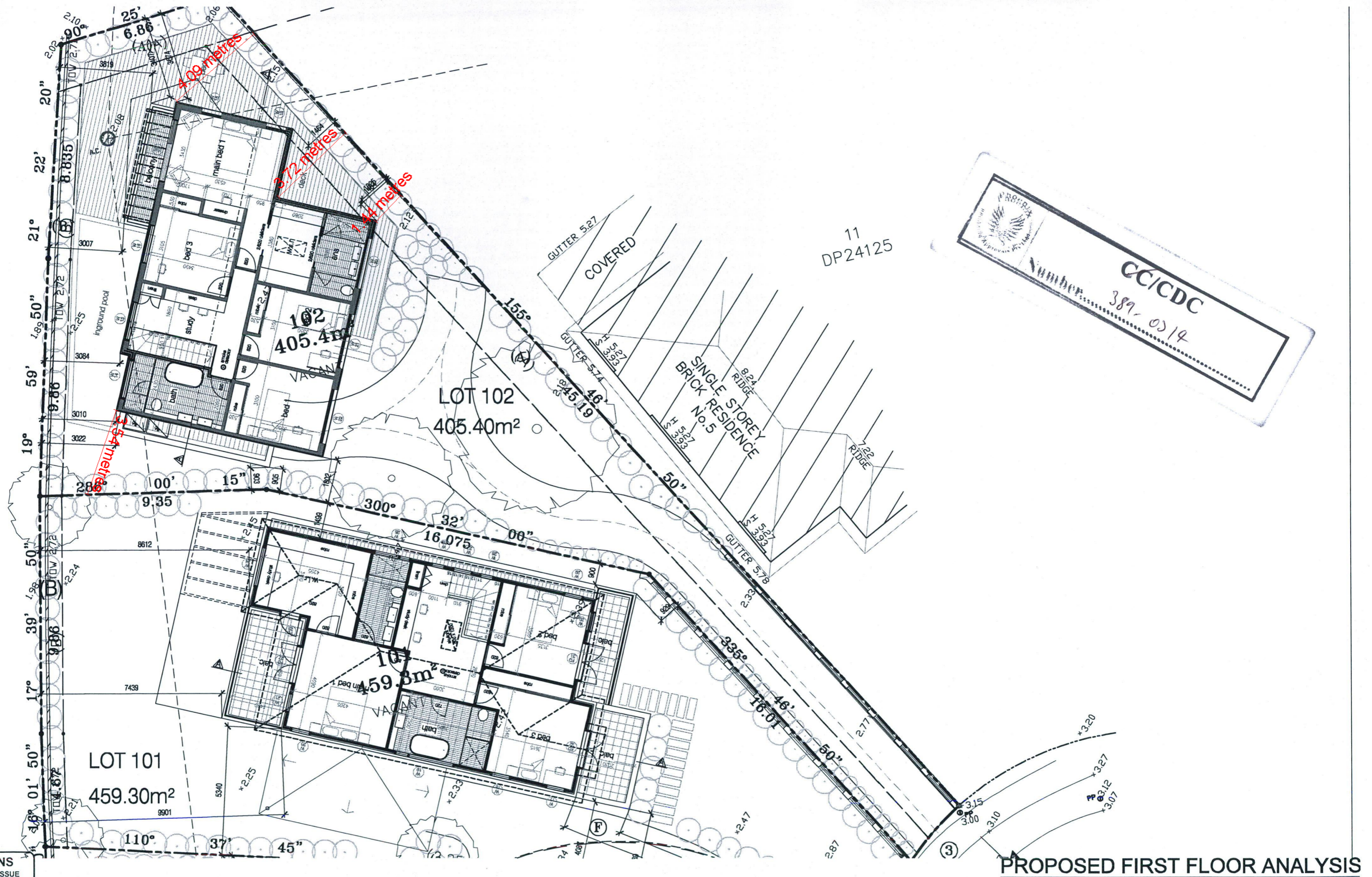
LEC S34 REVISION

ARKHAUS (02) 9697 9554 hello@arkhaus.com.au www.arkhaus.com.au Suite 4.03/ 77 Dunning Avenue, Rosebery NSW 2018

The works to be completed in accordance with the National Construction Code, Australian Standards and relevant by laws. All proprietary items are to be installed in accordance with manufacturers details and specifications. Statutory authority approvals and specifications that form part of the construction methods are to be adhered to. Work references of dimensioned measurements are to be taken over scaled measurements. These drawings have been prepared by Arkhaus and remain the property of the above mentioned part. These drawings are not to be used in any way without the permission of Arkhaus and are subject to copyright laws.

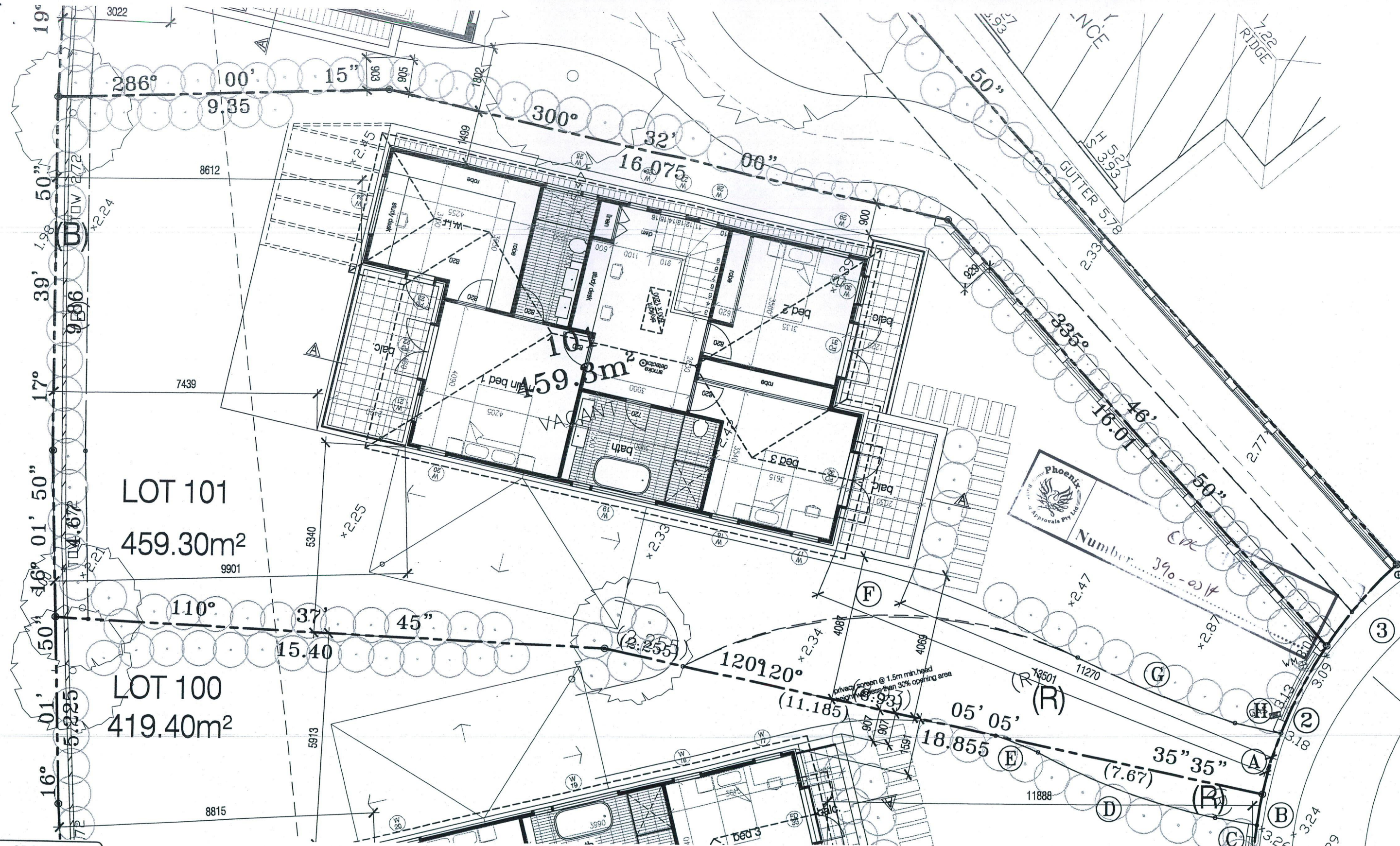
amendments			Date	Issue	Description
29/04/19	A	DEVELOPMENT APPLICATION			
20/10/20	A.S34_1	S34 FINAL ISSUE			

Client STONE ENTERTAINMENT PTY LTD Drawing FIRST FLOOR PLAN	Project description TWO DETACHED SINGLE DWELLINGS Project address 4 CONEILL PL FOREST LODGE	Sheet no. DA.05 Job no. 03318
--	--	--



CDC PLANS
CONSTRUCTION ISSUE

ISSUE: A	AMENDMENTS: CDC ISSUE	DATE: 26.03.2014	Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7600 info@developmentdesign.com.au www.developmentdesign.com.au	CLIENT: BRAD LANCKEN ADDRESS: LOT 102 in D.P 1186893 6 CONEILL PLACE FOREST LODGE 2037	PROJECT: PROPOSED NEW DWELLING DRAWING: PROPOSED FIRST FLOOR ANALYSIS	SCALE: 1:150 @ A3 DRAWN: P.G CHECKED: S.G	 DO NOT SCALE DRAWING	ISSUE: A CDC SHEET No: 0.02
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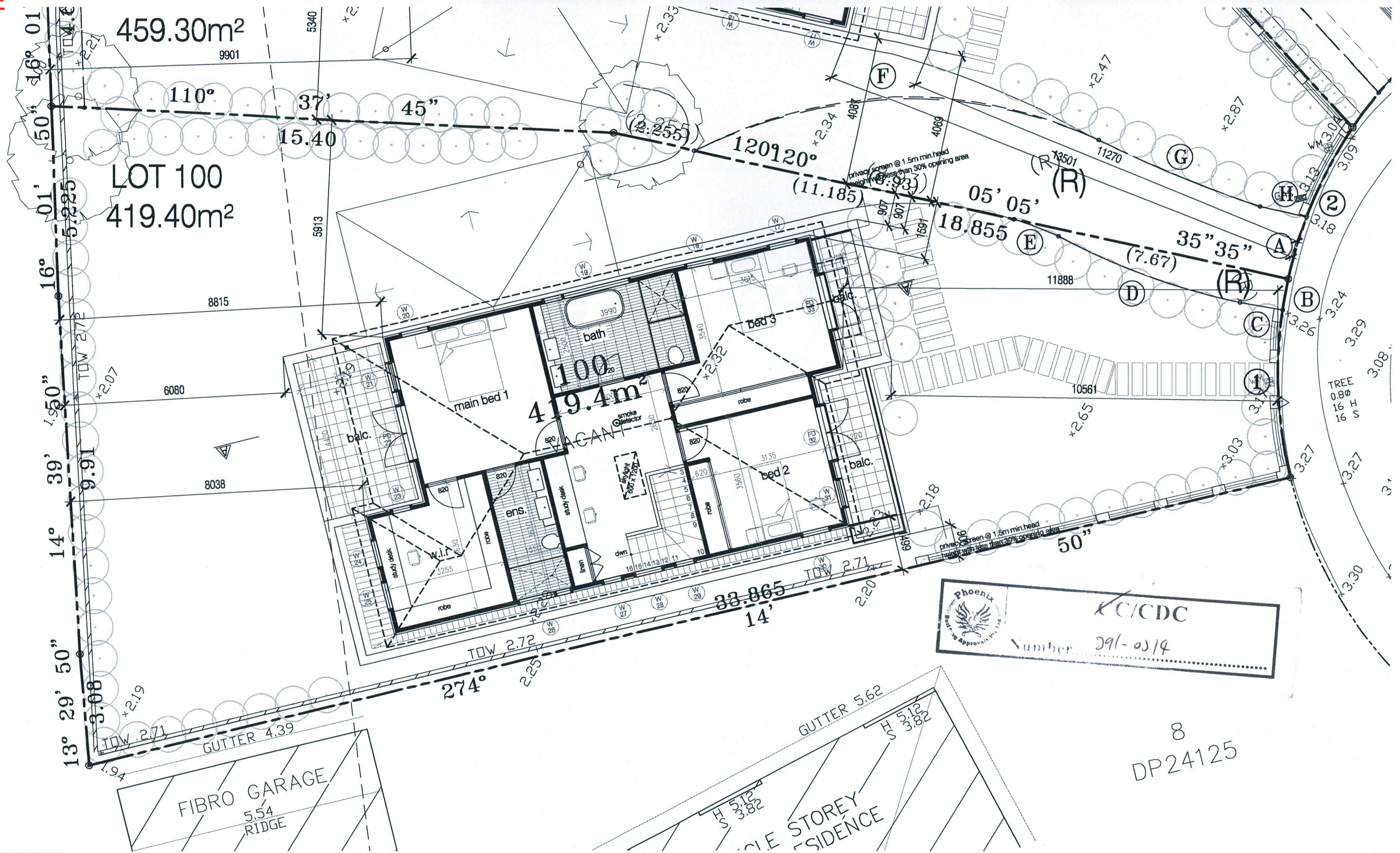


PROPOSED FIRST FLOOR ANALYSIS

CDC PLANS
CONSTRUCTION ISSUE

ISSUE: A	AMENDMENTS: CDC ISSUE	DATE: 26.03.2014	Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7600 info@developmentdesign.com.au www.developmentdesign.com.au	CLIENT: BRAD LANCKEN ADDRESS: LOT 101 in D.P 1186893 6A CONEILL PLACE FOREST LODGE 2037	PROJECT: PROPOSED NEW DWELLING DRAWING: PROPOSED FIRST FLOOR ANALYSIS	SCALE: 1:100 @ A3 DRAWN: P.G CHECKED: S.G	 DO NOT SCALE DRAWING	ISSUE: A CDC SHEET No: 0.02
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ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES, SETBACKS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPMENT

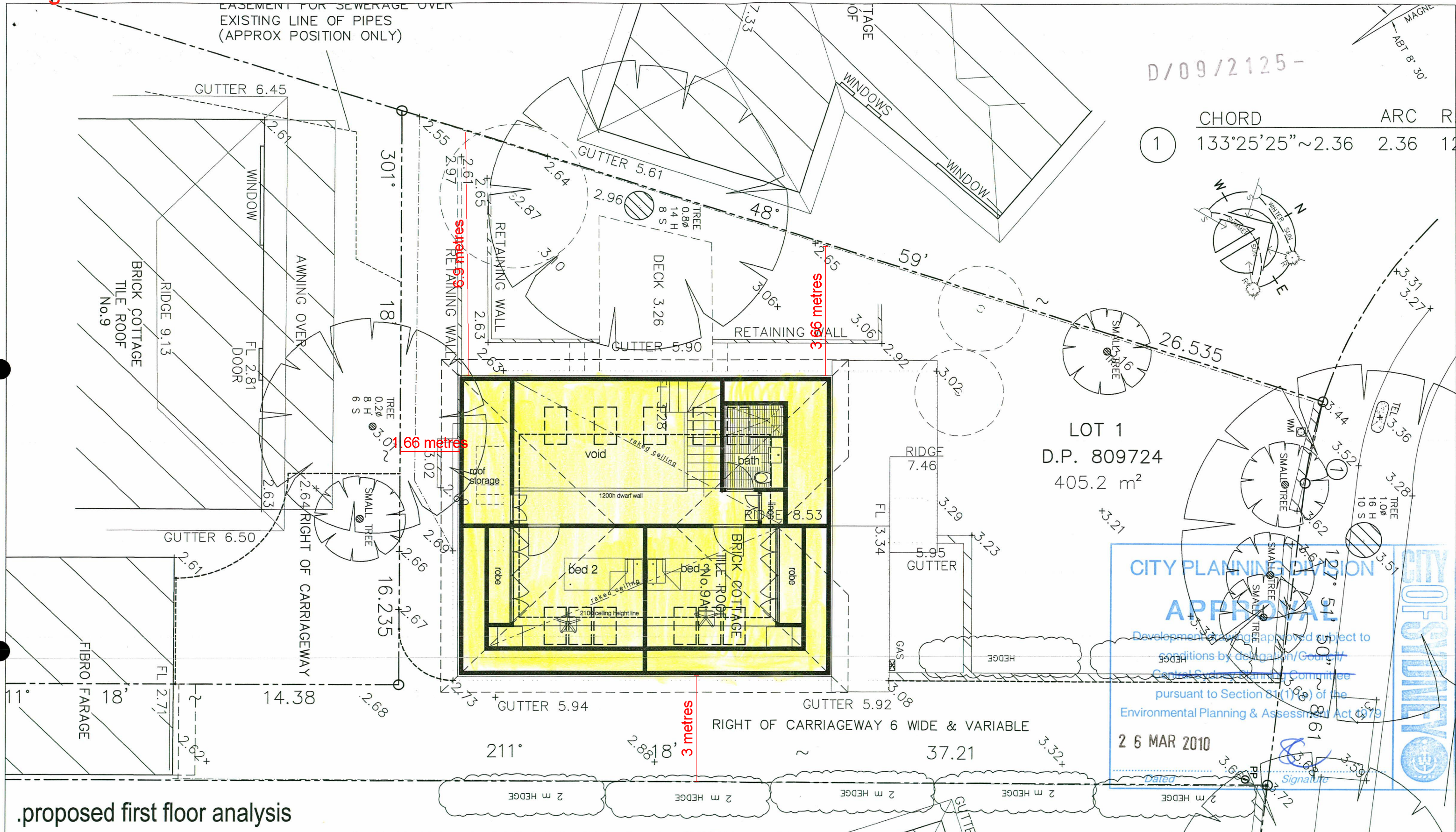


Phoenix
 Council Approval No. 291-0514
 KCICDC
 Number 291-0514

PROPOSED FIRST FLOOR ANALYSIS

CDC PLANS CONSTRUCTION ISSUE		DATE: 16.01.2014		CLIENT: BRAD LANCKEN		PROJECT: PROPOSED NEW DWELLING		SCALE: 1:100 @ A3		ISSUE: A	
ISSUE: A		AMENDMENTS: CDC ISSUE		Development Design Pty Ltd ACN 107 176 867		ADDRESS: LOT 100 in D.P 1186893 7 CONEILL PLACE FOREST LODGE 2037		DRAWN: P.G		CDC	
				340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7600 info@developmentdesign.com.au www.developmentdesign.com.au		DRAWING: PROPOSED FIRST FLOOR ANALYSIS		CHECKED: S.G		SHEET No: 0.02	

ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, GROUNDLINES, SETBACKS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPMENT



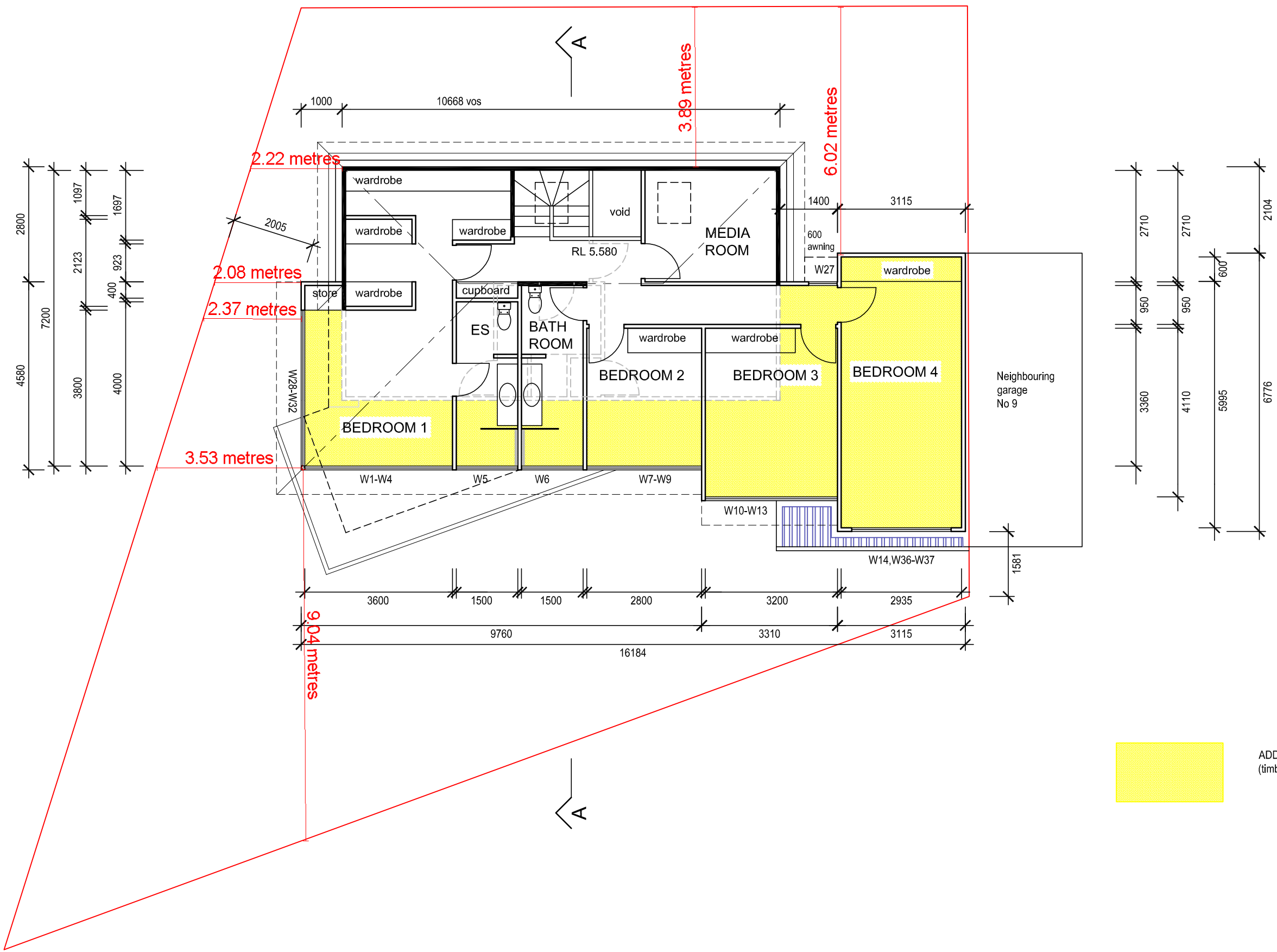
proposed first floor analysis


ISSUE:	AMENDMENTS:	DATE:	CLIENT:	DESIGN NAME:
SK13	NOT FOR CONSTRUCTION, D.A ONLY	08.12.09	PROPOSED ADDITIONS & ALTERATIONS FOR: JOHN BUTTERS	CONEILL_9A
DEVELOPMENT DESIGN PTY LTD ACN 107 176 867 340A CNR.FOVEAUX & RILEY STREETS SURRY HILLS NSW 2010 P 9211 7600 F 9211 7600 M 0400 228 335			ADDRESS: PROPOSED ADDITIONS & ALTERATIONS AT: LOT 1 D.P 809724 NO. 9A CONEILL PLACE FOREST LODGE	DESIGN No. : SK10 FACADE: EXISTING
				JOB N: CONEILL DATE: 18.09.09
				DRAWN: P.G CHECKED: S.G
				SCALE: 1:100 DRAWING N : DF
				DO NOT SCALE DRAWING

* ALL BUILDING WORKS TO BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS.

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Drawing G



 ADDITIONAL FLOOR AREA (timber framed)

THE SITE FOREMAN

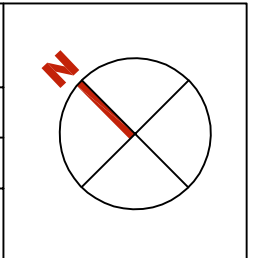
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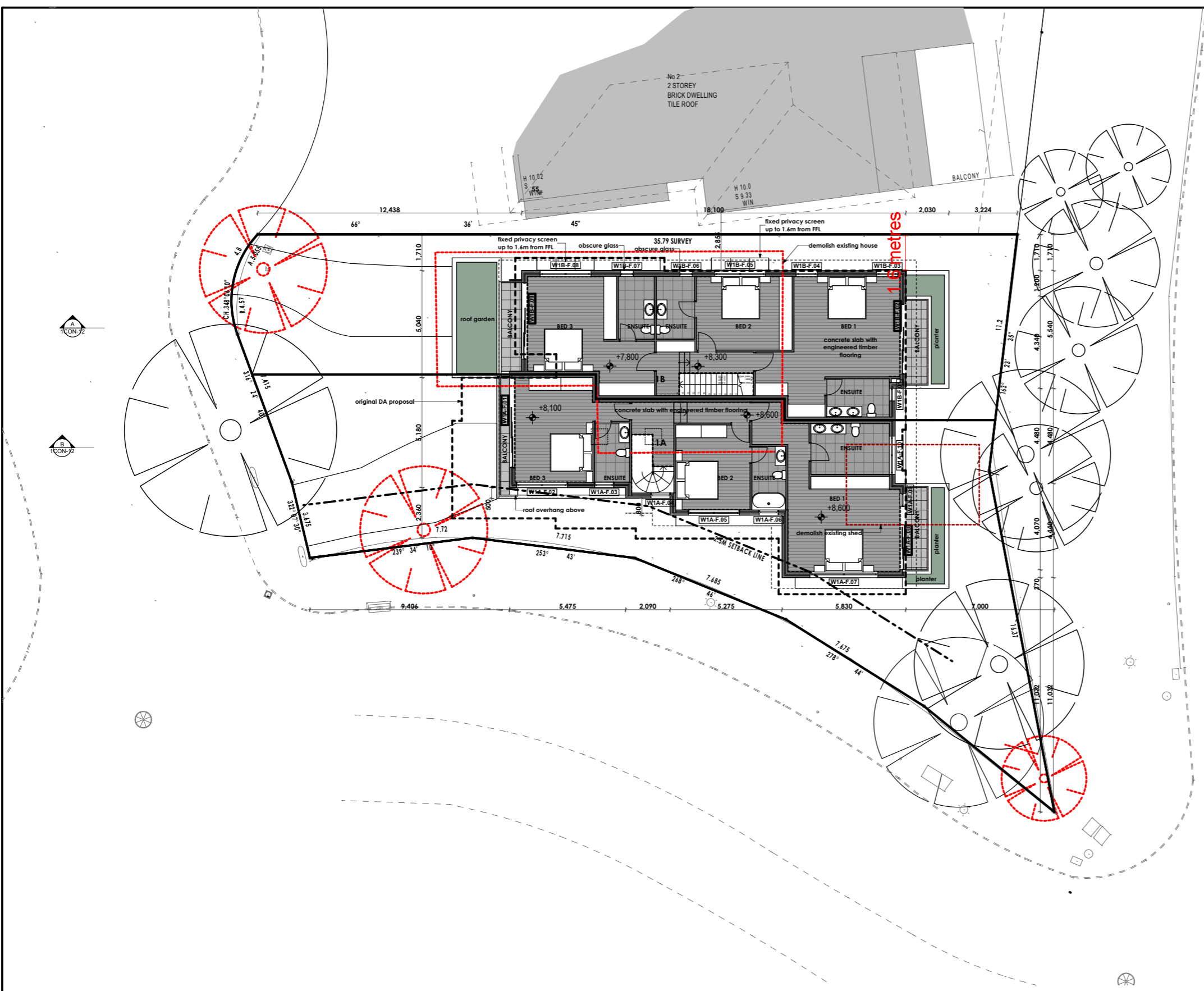
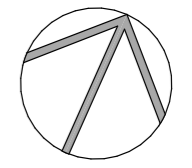
t: 1300 728 006 f: 1300 728 440
w: THESITEFORMAN.COM.AU
a: LEVEL 1, 381 LIVERPOOL ROAD ASHFIELD 2131 NSW

ISSUE	REVISIONS	DATE
A	ISSUED FOR DA	

PROJECT	ALTERATIONS & ADDITIONS TO DWELLING
	FIRST FLOOR PLAN
ADDRESS	9B CONEILL PLACE, FOREST LODGE

DRAWN BY	PW
SCALE	1:100
JOB NO	2400
DRAWING NO	DA 04 A





FIRST
1:200



PO Box 393 Bondi Road
Bondi NSW 2026
Mobile 0433 377 938
demis@hecticrat.com.au

Client
JOSH KUBA
Project Address
**1 CONEIL PLACE
FOREST LODGE**

Project
**SUBDIVISION +
TWO ATTACHED DWELLINGS**
Status: **DEVELOPMENT APPLICATION**

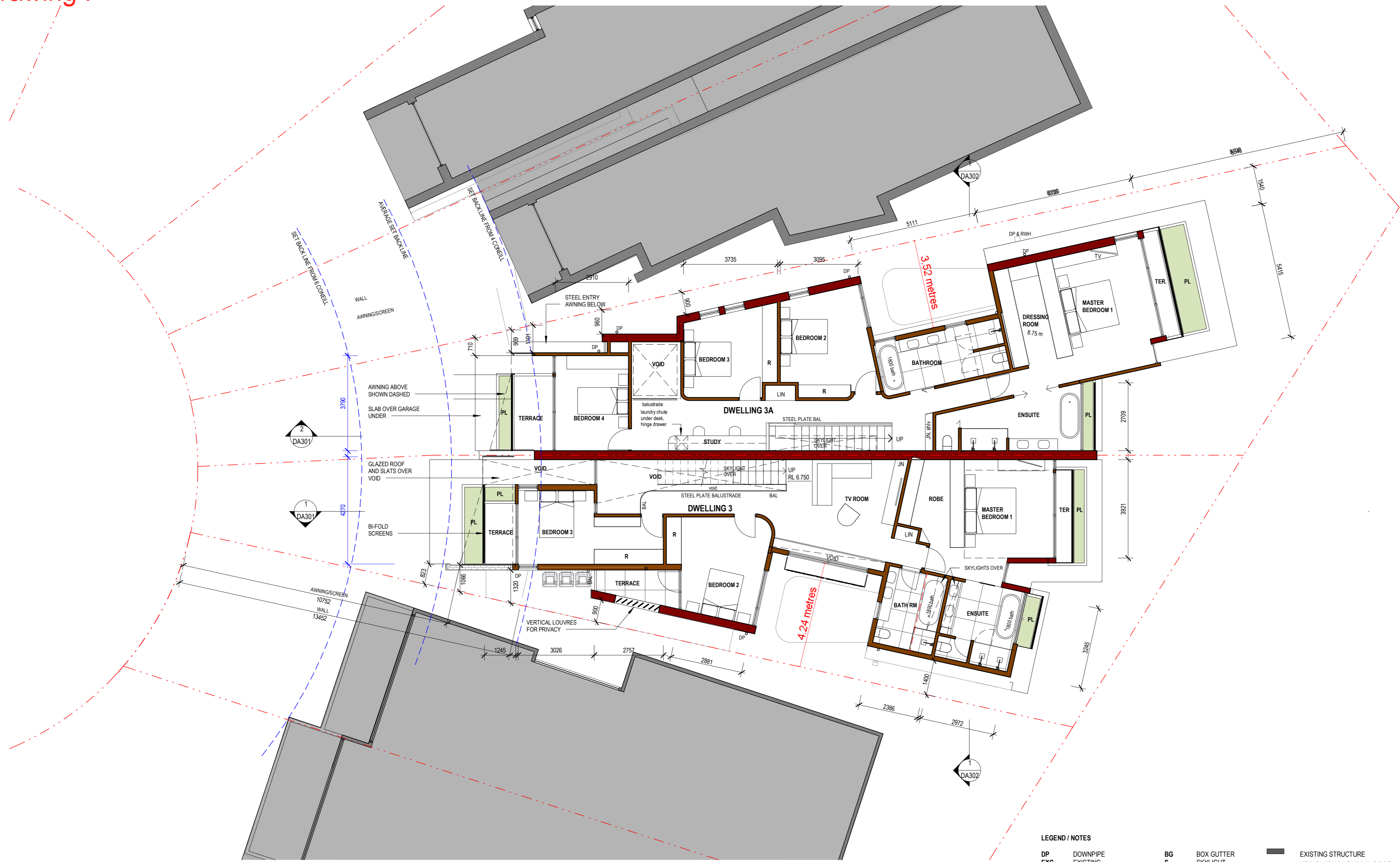
Contractors are responsible for all site levels and dimensions and must verify these at the job before the commencement of any work, the preparation of shop drawings or the fabrication of components. Do not scale drawings use figured dimensions only.
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Revision	Date	Description
C	20/1/23	amended DA issue (not for construction)
B	24/5/22	amended DA issue (not for construction)
A	25/3/22	Development Application issue (not for construction)

Drawing Title:
FIRST FLOOR PLAN

Scale: 1:100 UNO	Date: 20 JANUARY 2023
Drawn: DRB	Sheet No. 1CON-06
	Rev. C

Drawing I



- LEGEND / NOTES**
- DP DOWNPIPE
 - EXG EXISTING
 - F FIXED PANEL
 - LS LANDSCAPE
 - OP OPAQUE GLASS
 - PF POOL FENCE
 - PG POOL GATE
 - W WINDOW
 - BG BOX GUTTER
 - S SKYLIGHT
 - EXISTING STRUCTURE
 - NEW GLAZING / SWIMMING POOL
 - NEW MASONRY/CONCRETE STRUCTURE
 - NEW FRAMED STRUCTURE
 - LANDSCAPING TO LANDSCAPE ARCHITECTS DETAILS

ISSUE	DATE	DESCRIPTION	BY
1	04/10/22	DA SUBMISSION	

vaughan architects
 a. studio 6/13-15 small st. ulfimo 2007 nsw
 m. simon vaughan 0414 996 271
 simon@vaughanarchitects.com.au
 www.vaughanarchitects.com.au
 abn. 89 644 086 413

PROJECT:
 DUAL OCCUPANCY - 3 & 3A CONEILL PL,
 FOREST LODGE 2037

NOTES:
 1. Use only figured dimensions, do not scale drawings.
 2. All discrepancies and omissions to be referred to Vaughan Architects Pty Ltd prior to construction.
 3. Check all dimensions, Building Code of Australia, relevant codes and council approvals.
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DRAWING:
 PROPOSED FIRST FLOOR PLAN

SCALE: @ A2
 1 : 100

DATE: 04/10/22
CLIENT: Owner

DRAWN BY: Author

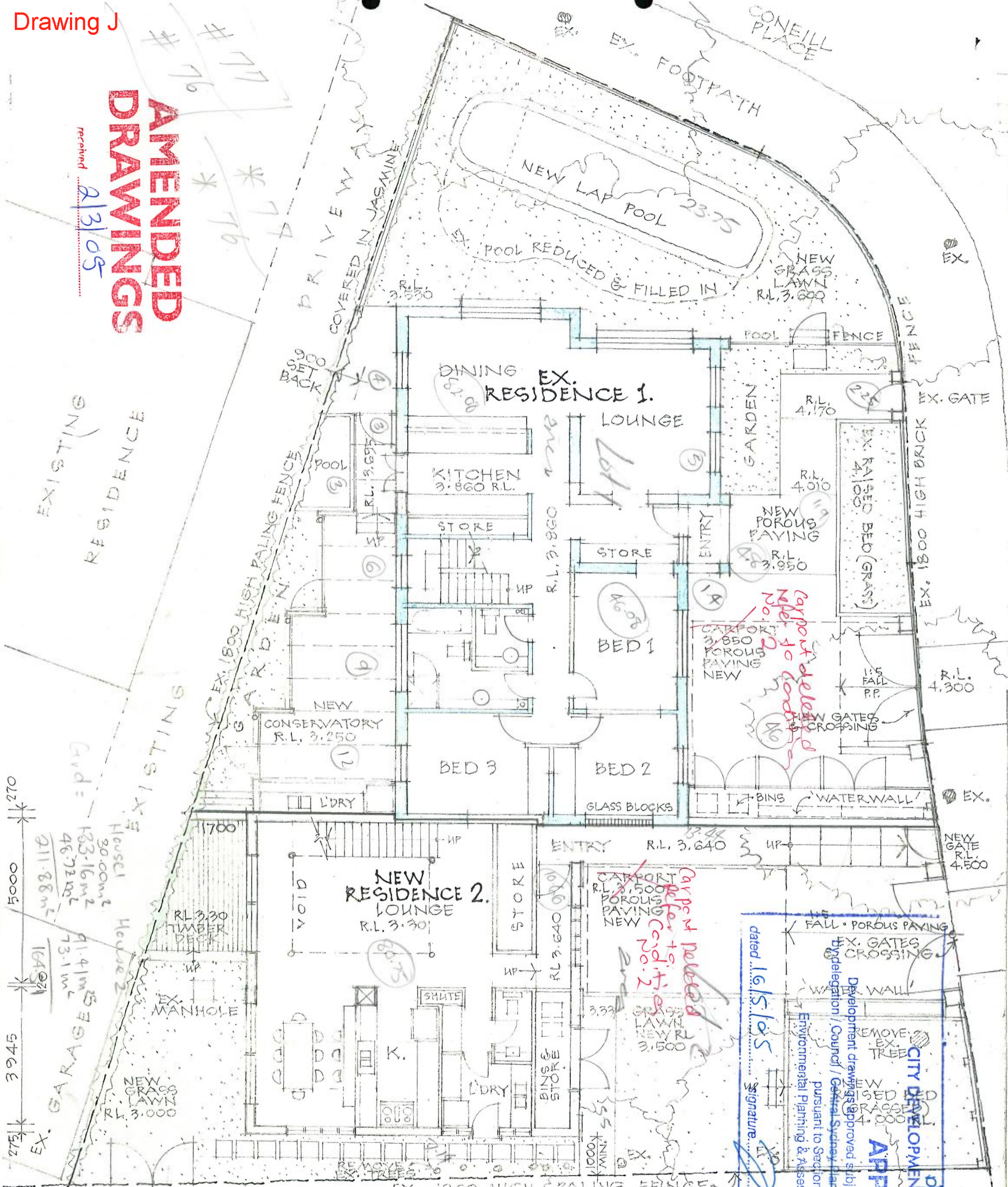
DRAWING NO:
 DA106

ISSUE: 1
PROJECT NO: 2207

21/11/2022 3:17:42 PM

AMENDED DRAWINGS

received 2/3/05



dated 16/5/05
signature

Development drawings approved subject to conditions by delegation / Council / Central Sydney Planning Committee pursuant to Section 81 (1) (a) of the Environmental Planning & Assessment Act 1979

APPROVAL

CITY DEVELOPMENT DIVISION

10.420

NEW ACCESS GATES AS REQD. BY WATER BOARD

EX. WATER BOARD RESERVE & ELEVATED AQUEDUCT

TA.01A

275 3000 2400 1500 1100 1000 275 BRICK VENEER

120 120 120

NO 10 CONELL PLACE GROUND FLOOR PLAN

10.12.04

1:100

A DIMENSIONS & R.L.S NOTED 27/2/05

EXISTING WALLS ALL OTHER WALLS ARE PROPOSED